



# DATCHET DESIGN GUIDE

NOVEMBER 2019

CONSULTATION DRAFT





# CONTENTS

## 1. WHY 'DESIGN' IN DATCHET

1.1 Introduction	6
1.2 Strategic Design Themes	7
1.3 Policy Status & Scope	8
1.4 User Guide	9

## 2. DATCHET WIDE DESIGN

2.1 Introduction	12
2.2 Rural Areas	12
2.3 Historic Environment	13

## 3. CHARACTER AREAS

3.1 Introduction	16
3.2 Historic Core	18
3.3 River Connections	22
3.4 Victorian Suburbs	26
3.5 Approach Routes	30

## 4. DESIGN DETAIL

4.1 Introduction	36
4.2 Windows & Entrances	36
4.3 Roofs & Walls	38
4.4 Boundary Treatments	40
4.5 Residential Car Parking	44
4.6 Planting Palette	45

## 5. SHOPFRONTS

5.1 Introduction	48
5.2 Shopfront Layout	48
5.3 Detailing	50
5.4 External Public Spaces	53
5.5 Successful Shopfronts	54





# 1. WHY 'DESIGN' IN DATCHET

1.1 INTRODUCTION

1.2 STRATEGIC DESIGN THEMES

1.3 POLICY STATUS & SCOPE

1.4 USER GUIDE



# 1. WHY 'DESIGN' IN DATCHET?

## 1.1 Introduction

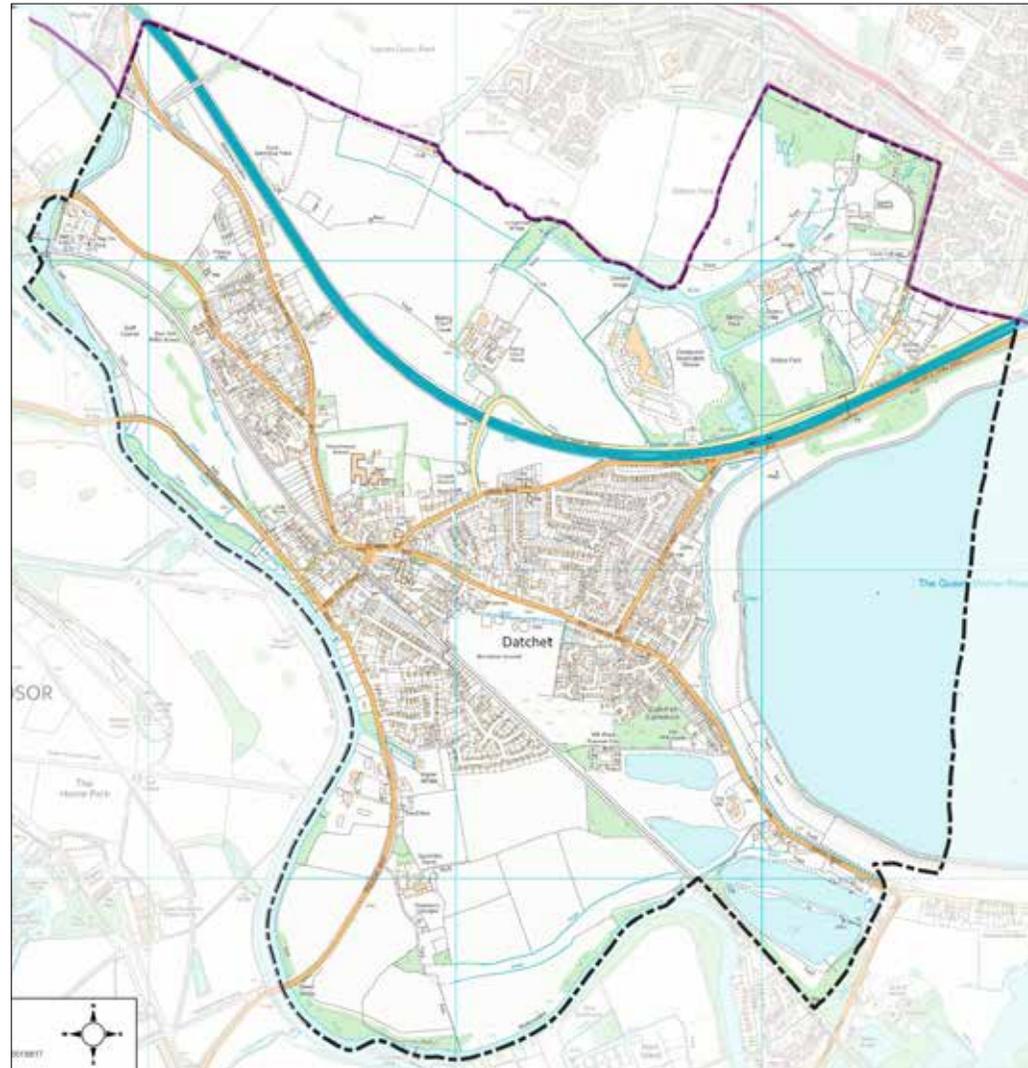
The Datchet Design Guide (DDG) reflects The Royal Borough of Windsor & Maidenhead's (RBWM) desire to support and encourage design quality within the parish.

Good design can have a positive, immediate and long-lasting impact on the quality of life of the whole community and the sustainability of the village. This Design Guide has been prepared in order to support design excellence in Datchet.

The DDG focuses on identifying the design quality which makes the parish of Datchet a distinctive and attractive place and ensuring that these elements are maintained and replicated across the parish.



The Public Riverside Gardens



Map 1: Datchet Parish Boundary indicated by dotted line.

## 1.2 Strategic Design Themes

The DDG seeks to build on the Strategic Design Themes identified in the Borough Wide Design Guide<sup>3</sup> and put them within the local context.

### **Putting People First**

RBWM intends to prioritise development which is human in scale, supports health and wellbeing and places people, communities and safety at the heart of decision-making on design, rather than vehicular access, or short-term commercial gain. This principle is wholeheartedly supported in Datchet where, in numerous areas, the quality of the environment is being eroded by development which encourages car use and does not promote positive design.

### **Creating a Sense of Place**

The DDG wishes to identify the critical elements of the immediate local context which give Datchet its character and the elements which can preserve, enhance and expand its high-quality spaces and maintain its strong positive identity.

### **Delivering Sustainable Places**

The DDG seeks to provide clarity and give inspiration to applicants, encouraging them to include the design elements within their project. It aims to protect and improve the local environment by initiating and supporting sustainable development.

### **Improving Quality**

The DDG aims to ensure that high-quality design is the standard approach throughout the parish, not just in those areas deemed to be of historic and cultural value and already rich in quality architecture and streetscape. The purpose of identifying those places of value, is to then be able to spread that quality throughout the Parish through increasing the design quality of all applications, no matter their location.



# 1. WHY 'DESIGN' IN DATCHET

## 1.3 Policy Status & Scope

The DDG is a draft parish-wide design guide that has been prepared as a supplementary planning document (SPD) for consultation purposes under Regulation 13 of the Town & Country Planning Regulations (Local Plan) 2012, as amended. The DDG supports the policies within the adopted Local Plan<sup>1</sup>. It has also been prepared to support emerging policies in the draft Borough Local Plan (BLPSV)<sup>2</sup>.

Applicants will be expected to take the DDG policies into account, along with the requirements of any locally specific design policies in adopted, made, or emerging plans and in other SPDs including the Borough Wide Design Guide<sup>3</sup>.

### **National Planning Policy Framework (NPPF) (February 2019, as amended in June 2019)**

High quality and sustainable design is fundamental to what the National Planning Policy Framework (NPPF) seeks to deliver, with the Government expecting local authorities to be clear about design expectations (Para 124), and reflective of local aspirations (Para 125). Para 130 of the NPPF states that permission should be refused for development of poor design that fails to contribute positively and improve the character and quality of an area.

### **Local Plan Policy**

Local adopted borough-wide design policies can be found in the saved policies of the adopted Local Plan<sup>1</sup>. The principle design related policy is DG1 - Design Guidelines, which sets out 11 overarching principles that apply to all forms of new development.

The DDG provides additional locally specific design policy which should be applied in combination with the overarching design policy contained in the Borough Wide Design Guide.

### **Conservation Area Appraisal 1995**

The DDG should be used in combination with the Datchet Conservation Area Appraisal 1995<sup>4</sup>. At the time of writing the Conservation Area Appraisal has been identified by RBWM as requiring review, and applicants should ensure that they are utilising the most up to date information.



High Street



Datchet Village Pharmacy



Datchet House

## 1.4 User Guide

This design guide covers all types and scales of development including new buildings, extensions, demolition, changes of use, intensification and alterations, shopfronts and signage. Applicants should note the following advice for specific types of application.

### Householder Applications

Those seeking to make householder applications should:

- familiarise themselves with the parish-wide issues set out in Chapter 2 and how they may relate to the application
- identify whether the property lies within, or adjacent to, a character area for design information for specific streets (See Chapter 3)
- utilise the overall advice provided in Chapter 4 to ensure successful design detailing for all projects

### Commercial Property

Those making applications for change of use to commercial use, new commercial property or amendments to existing commercial property (including change of use) must pay particular attention to Chapter 5 and note that the detailing information in Chapters 3 & 4 may also be applicable to commercial applications.

### Development Proposals

Those considering applications for projects beyond the scope of individual householder applications, must first satisfy themselves that their application meets the requirements of overarching policies within the current Local Plan, and particular care should be applied to understanding the parish-wide issues set out in Chapter 2.

When developing detailed proposals applicants should utilise the information in Chapter 3 setting out the design qualities of the most successful parts of Datchet, and must demonstrate how these qualities have been integrated in the application's design approach. Particular attention must be paid to locally-specific architectural detailing as set out in Chapter 4.

### Pre Application Advice

All applicants are strongly encouraged to undertake pre-application discussions with the Local Planning Authority.

### Designated Heritage Assets

Applications which include a designated heritage asset, are advised to consult the Conservation Officer before committing significant resources to design, as not all elements of the Design Guide are appropriate for all designated heritage assets.



Individual home extension, Horton Road



Commercial frontages High Street



Contemporary development of flats, Gables Close

Endnotes

1 Royal Borough of Windsor and Maidenhead  
Local Plan, adopted 1999, incorporating 2003 saved  
policies

2 The Borough Local Plan 2013 -2033: Submission  
Version (BLPSV) was submitted to the Secretary of  
State for Examination in January 2018

3 Royal Borough of Windsor & Maidenhead  
Borough Wide Design Guide Reg 18 Consultation  
Copy - 2019. (DOCUMENT CURRENTLY BEING  
PREPARED FOR ADOPTION, REFERENCE TO BE  
UPDATED AS APPROPRIATE)

4 Conservation Area Appraisal 1995 - Datchet  
Village, March 1995, Royal Borough of Windsor and  
Maidenhead

## 2. DATCHET WIDE DESIGN

2.1 INTRODUCTION

2.2 RURAL AREAS

2.3 HISTORIC ENVIRONMENT



## 2. DATCHET WIDE DESIGN

### 2.1 Introduction

The primary purpose of the Datchet Design Guide is to identify the detailed design approaches and features which give Datchet its unique character. However there are a number of parish-wide issues, which can have a significant impact on design, which applicants should be aware of, and have regard to in the design process.

#### Principle 1: Datchet-Wide Design

Applicants must ensure that they respond positively to the advice provided, regarding the following issues:

- rural areas
- historic environment



View of The Green looking east

### 2.2 Rural Areas

Whilst the DDG is focused on detailed design issues impacting on the built environment, it is important to draw attention to the fact that there are large parts of the parish which are rural in character, and that this document is still an important resource and relevant policy document.

Applicants considering proposals within these areas must initially establish the wider strategic planning policy which is applicable. There are a number of key issues related to the rural areas around Datchet which applicants should be aware of. This may include, but is not limited to:

- green belt
- flood risk
- proximity to Queen Mother reservoir
- M4 motorway
- Heathrow Airport
- Listed Buildings, non-designated heritage assets and the Conservation Area
- trees and woodland

If the proposal meets the strategic policy requirements, then applicants should;

- identify if one of the character areas is applicable to the project and utilise

the detail provided. This is likely to be particularly applicable to projects involving existing properties. (See Chapter 3)

- ensure that the project meets the detailing requirements set out in Chapter 4, which are as relevant to detailed design within a rural setting, as they are within the main settlement.



Green belt near Datchet including Ditton Park and Queen Mother Reservoir



Flooding on The Green in 2014



M4 Motorway near Datchet



Ditton Park (Grade II Listed, Registered Park & Garden)



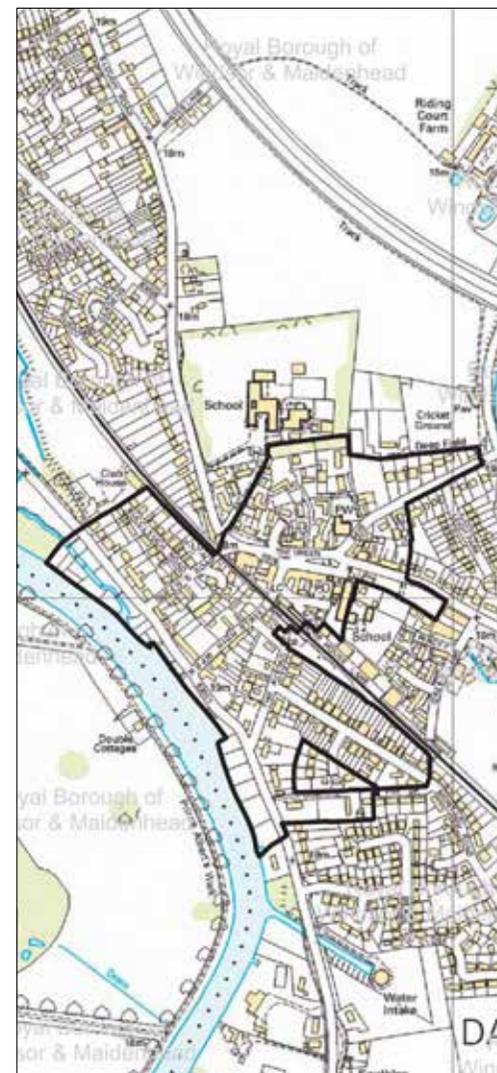
Heathrow Airport

### 2.3 Historic Environment

Datchet is well known for its historic village centre around the greens, streets connecting down to the Thames and views across the river towards Windsor Castle and Home Park.

The historic core of the village is covered by a conservation area, and contains numerous listed buildings and structures. Applicants must familiarise themselves with the additional requirements and restrictions on development within this area as part of the preparation of their proposals, and be aware of the potential for significant archaeology. The Conservation Area Appraisal 1995 provides a wide range of information which can inform and enhance the design process for proposals in this area.

Applicants seeking development within the conservation area are also strongly encouraged to pay particular attention to information provided in Chapter 3. The character areas identified accord broadly with the four major periods of historic (pre-20th-Century) growth within Datchet, and provide a useful guide to the key features both in architectural detailing and layout which make these areas particularly successful, attractive and distinctive.



Map 2: Datchet Conservation Area boundary indicated by black outline



## 2. DATCHET WIDE DESIGN



Map 3: Datchet and Datchet Common 1833



Map 4: Datchet 1868



Map 5: Datchet Common 1868



Map 6: Datchet and Datchet Common 1881



Map 7: Datchet 1899



Map 8: Datchet Common 1899



Map 9: Datchet 1960s



Map 10: Datchet Common 1960s

## 3. CHARACTER AREAS

3.1 INTRODUCTION

3.2 HISTORIC CORE

3.3 RIVER CONNECTIONS

3.4 VICTORIAN SUBURBS

3.5 APPROACH ROUTES





## Principle 2: Character Areas

There are four identified character areas:

- Historic Core (Section 3.2)
- River Connections (Section 3.3)
- Victorian Suburbs (Section 3.4)
- Approach Routes (Section 3.5)

Planning applications within these areas must, and those seeking to utilise its forms to support their design should, demonstrate how the application:

- responds to the positive and negative key features of the character area
- utilises and/or augments the materials palette of the character area
- integrates the architectural details and layout features identified in the character area image record and accompanying diagrams

### Living in or close to a Character Area

Householder applicants who live in or in close proximity to a character area can use character area information to:

- understand the key layout features of the area and if their proposals will strengthen and enhance that character
- identify if there are any negative design issues in the area which their proposal could improve
- check whether their proposal includes materials which are within or are complimentary to the materials palette

Note: 'in close proximity' is defined as streets which connect into, or properties which are directly adjacent to the character area boundary. Final definition is at the discretion of the planning officer.

### Commercial Development

Applicants seeking consent for commercial properties, including change of use or alterations to existing commercial properties can use character area information to:

- understand the key features of commercial frontages within the character area

- identify if there are particular negative design issues which could be ameliorated or avoided within their proposal
- check whether the proposal includes materials which are within or are complimentary to the materials palette

Note: where proposals are located in a character area where there are currently no commercial frontages, or which is outside the four identified character areas, applicants should seek to use the examples within the 'Historic Core' character area and the advice provided within the 'shopfronts' section of Chapter 5 to guide their proposals.

### New-Build Development

Applicants seeking consent for new build development can use the character area information to:

- identify existing layouts which are characteristic of Datchet
- identify the key architectural features and design detailing associated with different scales and types of properties
- understand the palette of materials across Datchet and how these could be utilised in new development.

## 3. CHARACTER AREAS

### 3.2 Historic Core

#### Introduction

The Historic Core character area includes the following key places:

- The Green
- St Mary the Virgin Church
- London Road (West)
- Horton Road (West)

#### Description

The Historic Core of Datchet sits within the northern section of the Conservation Area. The key feature of this area is The Green, including both the green space itself which was formed through the culverting of a stream and pond in the 1800s, and the properties surrounding this space including St Mary's Church and several which significantly predate The Green including the Manor House. Additionally this area includes the ends of two key routes connecting into The Green from the east, London Road (including the 18th-century listed wall originally belonging to Datchet House - the garden enclosed by the wall is now developed) and Horton Road including The Library.

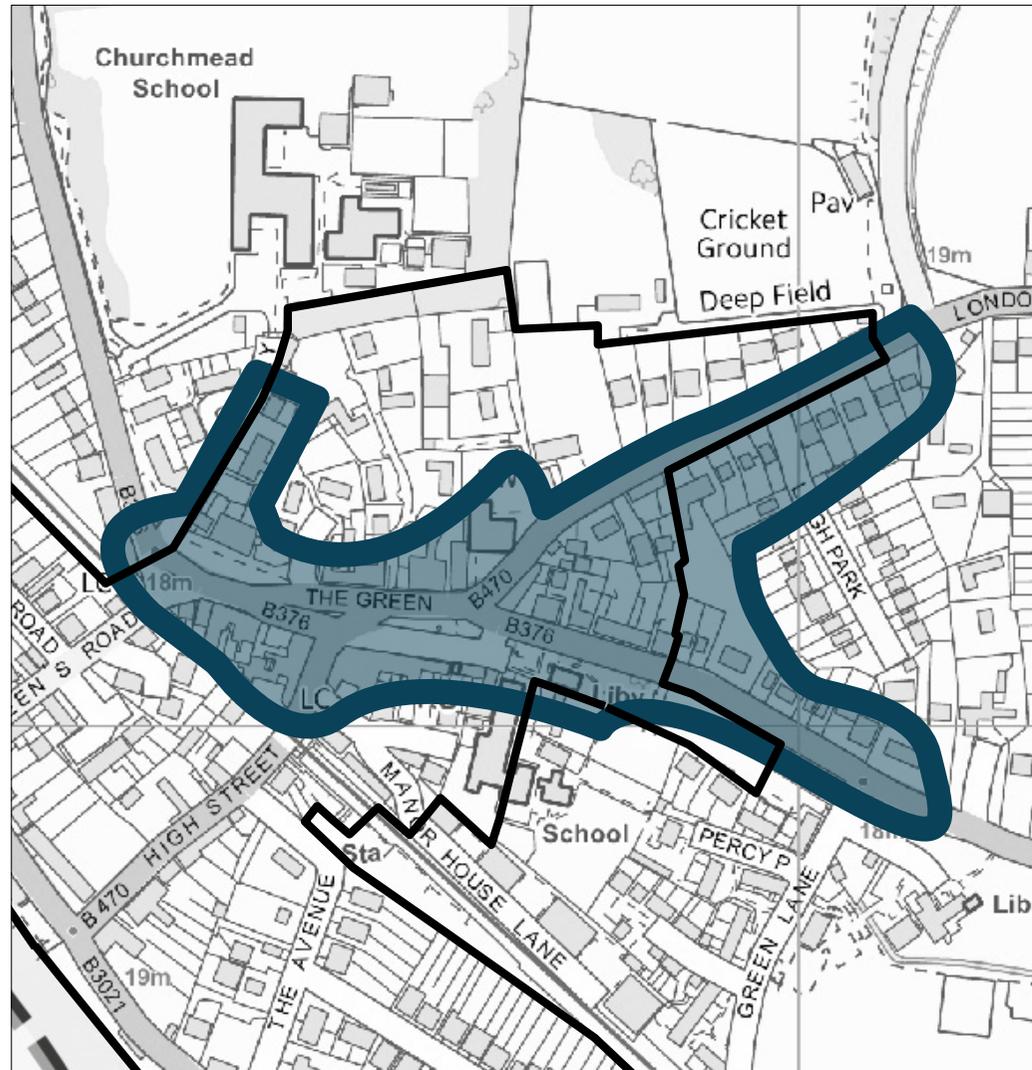


Diagram 2: Historic Core Character Area Boundary

## Key Features of the Historic Core

Positive	Negative
Distinctive and decorative architectural forms (e.g. decorative gables) in locations where there is sufficient space for them to be appreciated from a distance.	Significant visual clutter, particularly excessive signage of all types and unnecessary boundary treatments which prevent pedestrian movement
Well-proportioned, privately-owned but publicly visible, front gardens and/ or parking areas on London Road with significant greenery within boundaries.	Narrow pavements and poorly located parking areas which negatively impact pedestrians and cyclists.
Numerous designated and non-designated heritage buildings with features of significant design value	Poorly designed contemporary commercial frontages which do not add visual interest, vibrancy or quality to the area.
The strong enclosure of The Green by 2/3 storey properties, giving a clear sense of arrival in the village centre and a distinct character.	The overall experience on The Green, London, Horton and Slough Roads caused by poor air quality, noise and standing traffic
Well-proportioned and detailed traditional shopfronts and examples of successful reuse of commercial properties (a bank) for alternative uses (an artist's studio).	It is difficult for pedestrians to cross the road due to a lack of crossing points (e.g. zebra crossings), excessive use of barriers and volumes/speed of traffic
Large mature specimen trees in both the central public space and private surrounding spaces, which add to the distinct character of The Green	Lack of visual connection (and therefore natural surveillance) between many of the commercial frontages and the street due to excessive use of window films.
Well considered inclusion of planting as part of residential frontage design.	
A range of distinctive decorative detailing on gates, walls, fascias and entrances.	
Reduction of vehicular through-traffic from routes around the edge of The Green.	

## Materials Palette



Red clay, plain and fish-scale hanging tiles



Buff London Stock bricks



Dark red brick (varied bonds)



Painted render



Red and orange hand-made bricks in character Flemish or English Bonds



Brick projecting string courses



### 3. CHARACTER AREAS

#### Image Record: Historic Core

Images demonstrating the positive features which enhance the character area.  
Please note - this image record does not include shopfronts, please see Chapter 5



London Road frontages providing space for parking



Forest-scale trees on The Green



Cottage with garden frontage by railway crossing



The Manor Houses on The Green showing decorative enclosure and timber frontages.



Decorative barge boards on gable ends



Combined wall and decorative fencing to create visual interest and privacy.



Decorative entrance gates on Horton Road



Central green spaces with circulating traffic.



Well-proportioned wall, gatepost and gate, used in combination with hedging

## Layout Examples: The Green



Gateway and key view into The Green



Green spaces within The Green



Visual edge of The Green



Boundaries between properties



Railway line

Diagram 3: The Green demonstrates the enclosure of the space and the way it is revealed through a series of gateways from key routes which connect into the space. It also demonstrates the important role that private spaces play in extending the visual scope of the space, making it feel much larger than the area which is publicly accessible.



### 3.3 River Connections

#### Introduction

The River Connections character area includes the following key areas:

- Queens Road
- High Street
- Windsor Road / Southlea Road

#### Description

The River Connections area sits within the southern section of the Conservation Area. The key feature of this area is The Thames riverbank which now forms the only area of public open space at the riverside (sometimes referred to as The Riverside Garden), and terminates the view at the southern end of High Street.

High Street, in combination with The Green, is the oldest part of Datchet, with numerous listed buildings. Historically it linked the village centre to the river crossing leading to Windsor.

This area contains two distinct forms, the narrow and well-defined north/south routes of High Street and Queens Road, and the larger, more eclectic mix of Windsor and Southlea Roads which are only developed on their northern side, facing towards The Thames.

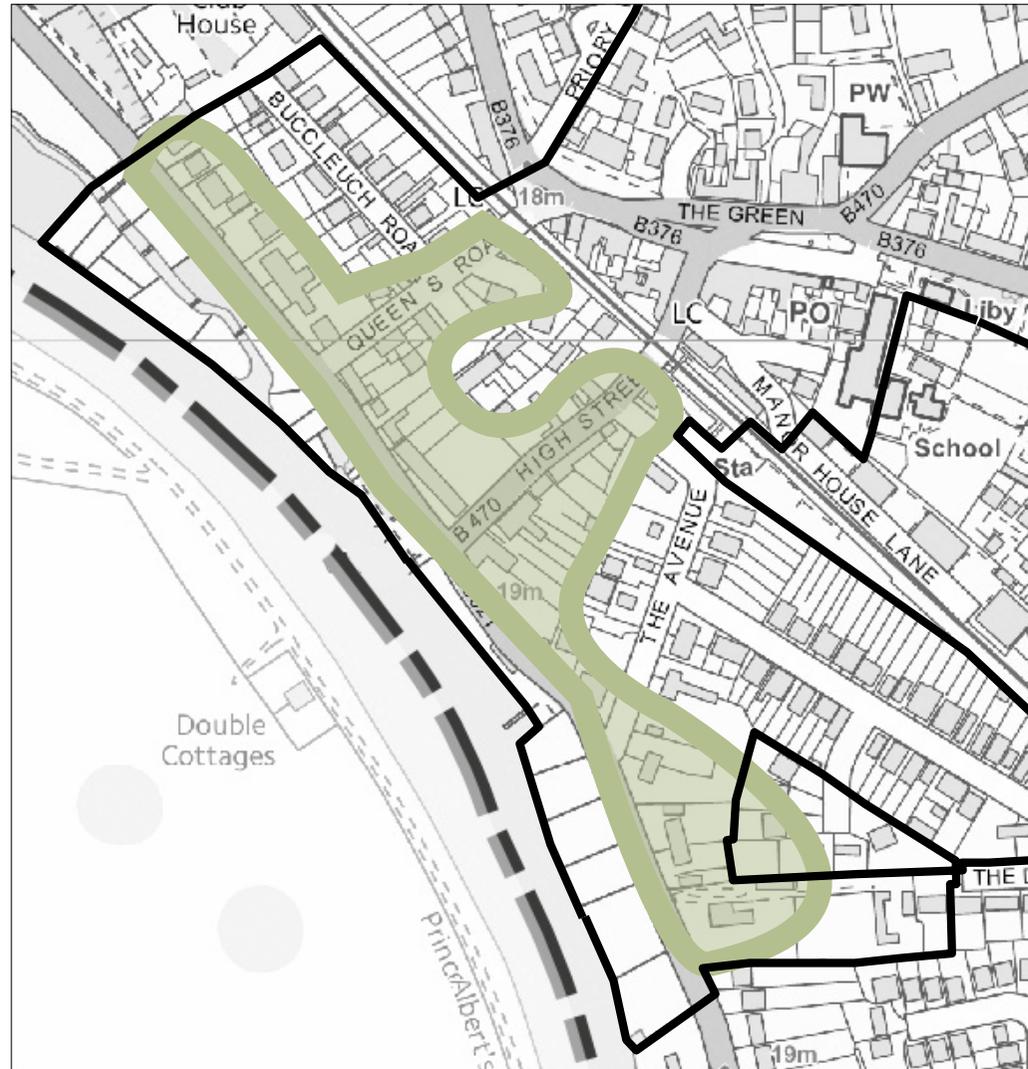


Diagram 4: River Connections Character Area Boundary

## Key Features of the River Connections

Positive	Negative
High Street has a strong sense of enclosure due to its relatively narrow road width and 2/3 storey buildings combined with large trees on the western side	Some frontage enclosures have been lost on Queens Road and High Street to facilitate car parking within frontages.
Courtyard entrances combine walls with strong tree planting, creating a strong sense of enclosure on the western side of High Street, but with a softening effect created by the trees	Narrow (and in some areas non-existent) pavements create an unpleasant environment for pedestrians next to busy traffic, and are in places sufficiently narrow to be unpassable by those using mobility aids such as wheelchairs/pushchairs
The enclosure of the High Street creates definition to the open spaces of The Green and the river bank to the north and south and creates a sense of arrival.	The inclusion of high walls, particularly when combined with narrow pavements can feel overbearing in some areas of Queens Road
Use of decorative brick work	
Use of decorative metalwork, primarily gates and railings, but also including balcony enclosures	
Clearly defined entrances across the character area	
A large number of listed buildings of different styles and ages, particularly on High Street and the riverside	
Distinctive architectural features such as 'blind boxes' on south-facing windows, particularly Southlea Road	

## Materials Palette



Extruded banded brick work and red brick (Flemish Bond)



London or yellow stock brick



Red brick



White painted stucco (early Victorian Roman Cement)



Metal work details



### 3. CHARACTER AREAS

#### Image Record: River Connections

Images demonstrating the positive features which enhance the character area.



Large setbacks used to accommodate car parking and retain gates



View along High Street towards The Green showing enclosure created by both properties and trees



Simple but well detailed and proportioned frontages on High Street. Note that infilled porch still retains the original proportions.



The public riverside garden



Balcony detailing on properties fronting Southlea Road and the River Thames



Ironwork railings and gates on High Street



Courtyard development retaining period features and providing a range of property types from a single street



Stone detailing, and double-height bay windows on High Street



Corner gate detailing on river frontage and blind boxes on windows

## Layout Examples: River Connections



Diagram 5: Demonstrating how the enclosure of High Street and Queens Road creates definition to the open spaces of The Green and the public riverside gardens to the north and south and creates a sense of arrival in both locations.



Diagram 6: Key aspects of the layout of High Street

### 3.4 Victorian Suburbs

#### Introduction

The Victorian Suburbs character area includes the following key areas:

- Montagu Road
- The Avenue
- Buccleuch Road (north side)

#### Description

The Victorian Suburbs are an easily recognisable feature within the development of Datchet, and development of Datchet and represent the first significant expansion of the settlement following the arrival of the railway.

Distinct from later Victorian and Edwardian development (See Approach Routes character area), these Victorian Suburbs are not through routes, and have a quiet, residential character.

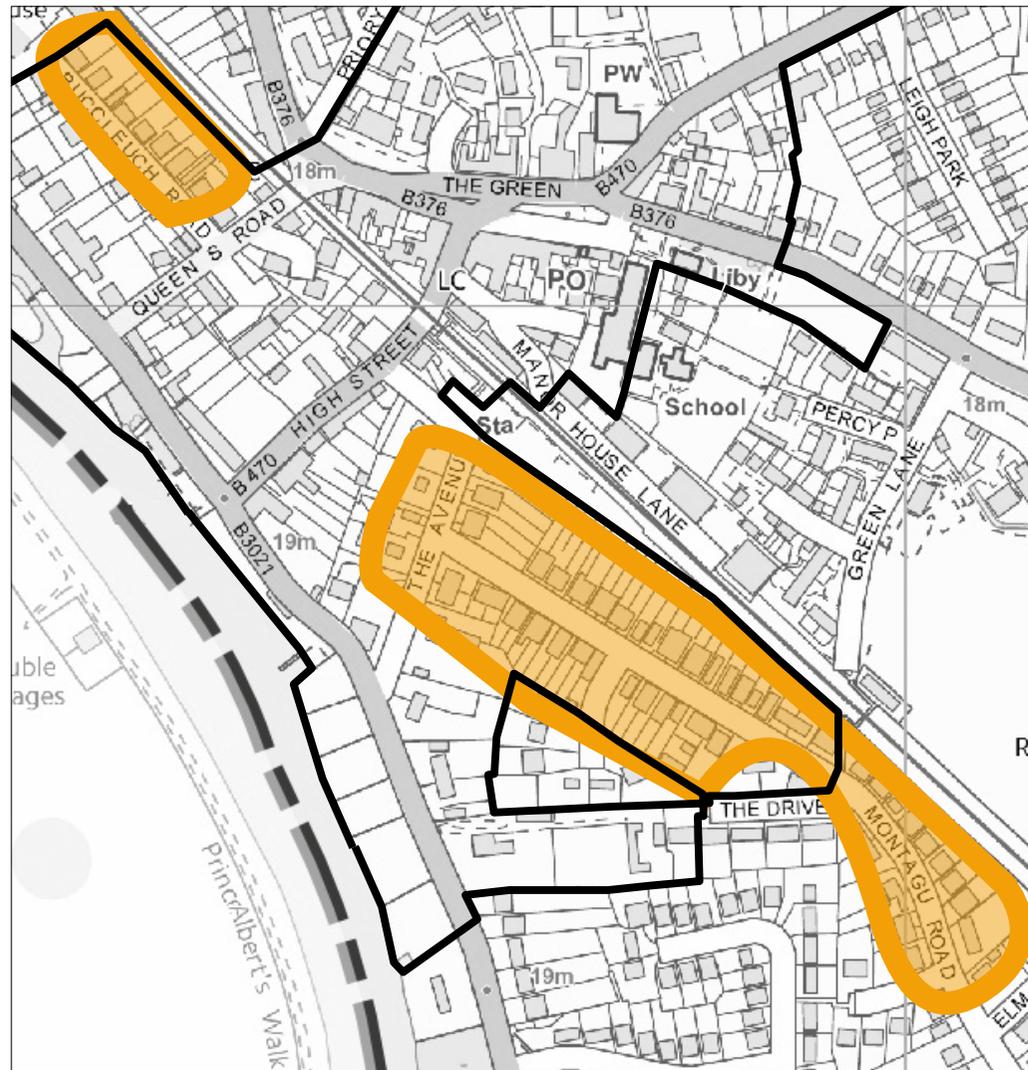


Diagram 7: Victorian Suburbs Character Area Boundary

## Key Features of the Victorian Suburbs

Positive	Negative
Well-defined sense of enclosure with properties being 2/3 storeys.	There is significant on-street parking due to the small size of some front gardens.
The inclusion of street trees in combination with trees and planting in private gardens (Montagu Road) softens the streetscape, creates an attractive ambience and a perception of reduced road width	There are some poorly designed extensions which do not match the architectural proportioning of the original property.
Use of narrow plots and predominantly semi-detached layouts creates significant density without feeling cramped. (Montagu Road)	Verges and pavements between street trees are frequently used and in some instances damaged by car parking. (Montagu Road)
The use of planting as a deliberate feature to soften driveways and strengthen boundaries.	The retention or rebuilding of gateposts, but without the provision of gates frequently looks incongruous
Use of a simple palette of boundary treatments (walls and metal railings) provides a uniformity despite the addition of parking within many front gardens.	Frequent unnecessary complete coverage of front gardens with hardscaping to provide parking
Strong building lines which give clear definition to front garden spaces.	
Gables which front the street, often with decorative barge boards and finials	
Easily identified and decorative entrances, including on properties with side entrances	
Use of decorative brick work	
Bay windows to provide relief to the frontage, and inset porches	

## Materials Palette



London or yellow stock brick



Red brick in Flemish Bond



Clay tiles (scalloped)



Contrasting brick banding details (buff and red brick)



Timber windows set behind a brick reveal



### 3. CHARACTER AREAS

#### Image Record: Victorian Suburbs

Images demonstrating the positive features which enhance the character area.



Gable ends - including decorative barge boards and decorative brick work



Distinctive side porches and entrances



Boundary planting



Proportionate wall, gatepost and gate detailing



Decorative ridge tiles



Decorative metal railings on low brick walls with associated gates



Utilising red brick to match walling next to the curb, and parallel placement of the grate reduces its visual impact



Inset porch with bay windows



Use of planting to emphasise the entrance

## Layout Examples: Victorian Suburbs

- Movement route along Montagu Road 
- Visual enclosure along Montagu Road 
- Boundaries between properties 



Diagram 9: Demonstrating how the strong enclosure of the buildings of Montagu Road is enhanced by retaining boundary treatments and planting within the street and front gardens

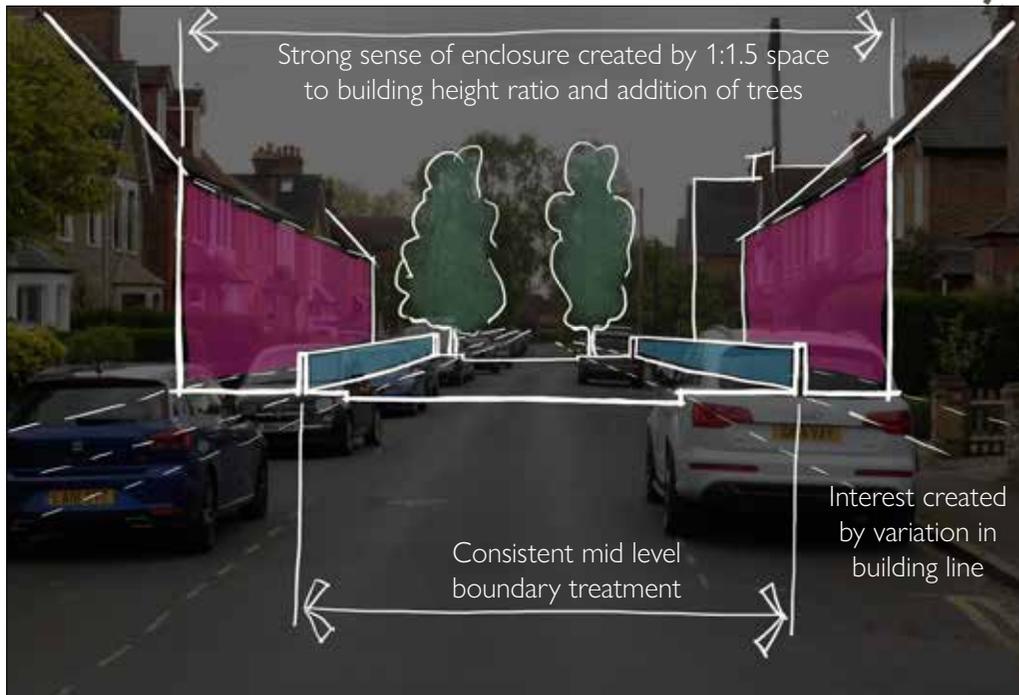


Diagram 8: Key elements which create the character of Montagu Road

## 3. CHARACTER AREAS

### 3.5 Approach Routes

#### Introduction

The Approach Routes character area includes the following key areas:

- Slough Road
- Eton Road
- Horton Road & Penn Road

#### Description

The Approach Routes are primarily made up of Victorian and Edwardian properties. These areas demonstrate a number of effective approaches to design associated with high trafficked routes. Whilst there are several areas in Slough Road which have lower quality infill development, the overall impact of the Approach Routes is effective in delivering good-quality design across a mixture of property sizes.



Terraced housing on Horton Road within the 'Approach Routes' character area

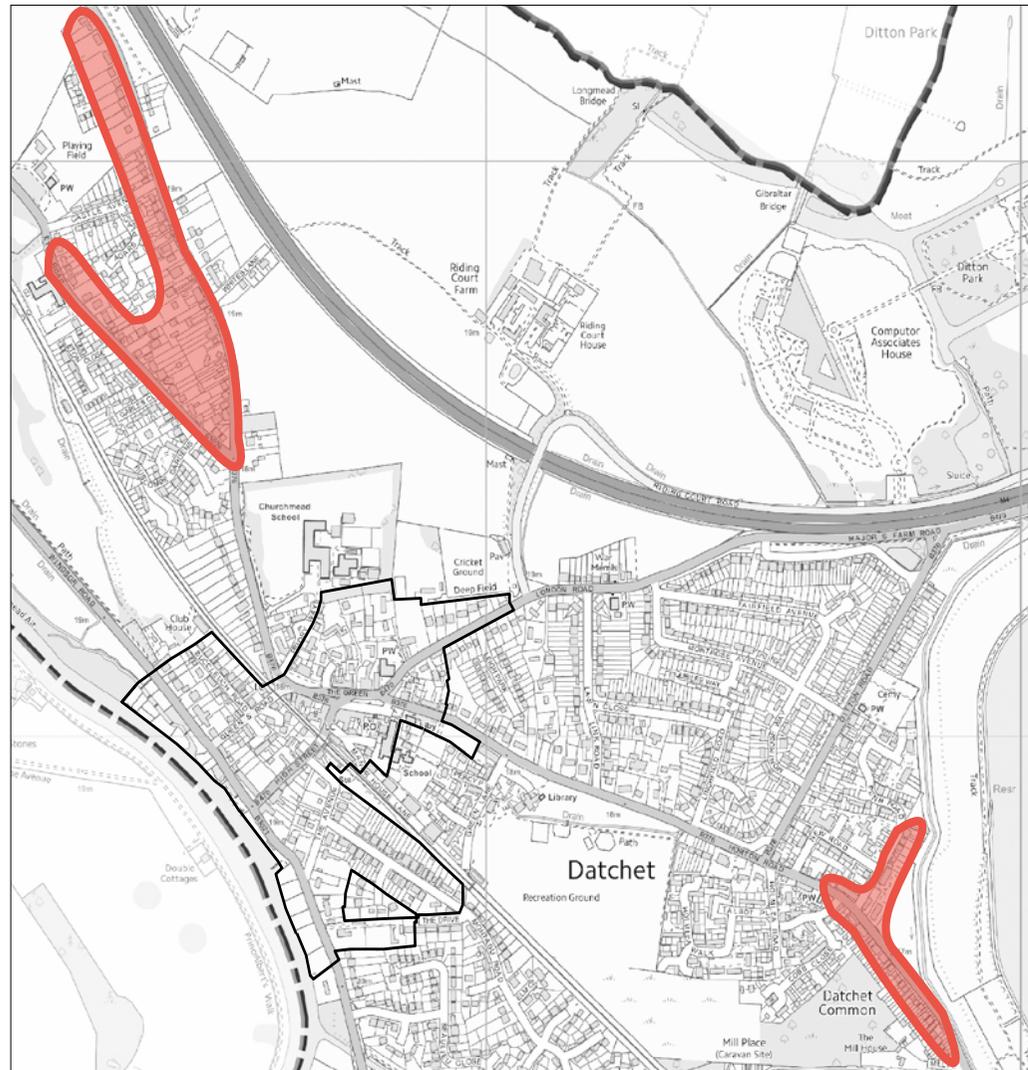


Diagram 10: Approach Routes Character Area Boundaries

## Key Features of the Approach Routes

Positive	Negative
Unusual, but effective, staggered approach to layout for smaller Victorian homes which provides an attractive frontage on a busier through route and solar gain. (Slough Road & Eton Road)	Infill development sometimes inconsistent in scale and with poor design detailing compared to adjacent properties
Larger frontages with sufficient space for both parking and planting, and use of taller hedge planting in combination with walls, railings and fencing creates more robust boundary treatments suitable for a busier route (Slough Road & Eton Road)	Poor-quality parking arrangements in some areas (due in part to historic layout) which negatively impact the pavement environment and encourage poor parking behaviours in adjacent areas
Use of double-height bay windows and inset arched entrance porches (Eton Road & Penn Road)	The single-sided nature of these streets and limited space for on-plot parking (Slough Road and eastern Horton Road) has created problems with anti-social parking on grass verges opposite properties
Inclusion of larger trees and shrubs within front gardens close to boundaries, which have a positive impact on the streetscape. (Eton Road & Slough Road)	
Good mix of large and small, detached, semi-detached and terraced homes creating visual variety and a more inclusive feel.	

## Materials Palette



Red brick (brickwork banding)



Slate roofs and red clay ridge tiles



Yellow or London Stock bricks



Dark-coloured wood or railing details



Render (Primarily Eton and Slough Roads)



Dark red brick (including extruded detailing)



### 3. CHARACTER AREAS

#### Image Record: Approach Routes

Images demonstrating the positive features which enhance the character area.



Larger homes with set-back parking areas and double-height bay windows



Semi-detached with single bay window, arched inset porch and retained boundary treatment with parking to the side



Terraced with small front gardens with boundaries retained. Slate roofs including dormer windows



Terraced homes with brickwork banding.



Gables and dormers hung with matching decorative hung tiles



Gables with decorative barge boards and decorative brick work



Brickwork banding carried through from original home onto a well proportioned extension (size compared to original and windows)



Single storey bay windows and tiled front entrances



Front garden enclosure, with clear entrance definition, arched porches and bay window

## Layout Examples: Approach Routes

Movement route along Horton Road



Vehicular crossing of the pavement and loss of boundary treatment



Boundaries between properties



Diagram 11: Key elements of the layout of Eton Road



Diagram 12: Demonstrating the strong frontage definition of Horton Road, and the negative impact of removing front boundaries



## 4. DESIGN DETAILING

4.1 INTRODUCTION

4.2 WINDOWS & ENTRANCES

4.3 ROOFS & WALLS

4.4 BOUNDARY TREATMENTS

4.5 RESIDENTIAL CAR PARKING

4.5 PLANTING PALETTE



### 4.1 Introduction

#### Introduction

The majority of design requirements related to the architectural details of buildings are set out in Local Plan and Borough Wide Design Guide Policy, and based on assessment of the individual property.

However there are several specific forms of design features which are particularly prevalent in and distinctive to Datchet, which this section seeks to highlight.

#### Principle 3: Architectural Detailing

All applications within Datchet should demonstrate how they contribute positively to the richness and variety of the built fabric of the settlement through the inclusion of locally specific detailing, including (but not limited to):

- Windows & Porches (Section 4.2)
- Roofs & Walls (Section 4.3)
- Boundary Treatments (Section 4.4)
- Car Parking (Section 4.5)
- Planting Palette (Section 4.6)

### 4.2 Windows & Entrances

#### Bay Windows & Inset Entrances

Many properties across Datchet include bay windows (both single and two storey) in combination with inset porches. This was a feature of the late Victorian/Edwardian era, providing both architectural interest and the practical features of additional light into the home and a protected entrance.

This attractive combination could be successfully utilised in a contemporary way on both new-build properties and extensions. When designing these features it is critical to ensure correct proportion, and windows in particular should always be proportioned vertically and match any existing openings.



Example of a single bay window and inset porch

#### Porches

There are many excellent examples of porches across Datchet. These should be retained and replicated wherever possible, and designed with the opportunity for additional frontage planting in mind.



Example of decorative porches on side entrances and the use of climbing roses to provide interest without taking up parking space



Example of a keyhole shaped inset porch on



Simple and proportionate canopy porch

### Blind Boxes

An uncommon feature of Datchet is the survival of blind boxes on some historic properties. These are merely decorative features now, following loss of their original sun blinds. However, reflecting the original idea, working blinds might protect the south-facing windows of contemporary houses as an alternative to modern *brise soleil* systems.



Example of an inset porch offering shelter, exterior storage and incorporating climbing planting without the loss of paved area



Example of blind boxes (originally containing larger sun shades) on a period property in Datchet



Example of uPVC non-sash windows successfully imitating sash windows through correct frame proportioning and inset fitting

### Window Design

Many properties across Datchet were originally built with traditional window designs. Vertically sliding sashes predominated between 1700 and 1914, though casement frames and older leaded lights sometimes feature. It is appreciated that functional traditional windows are comparatively expensive, but they are sometimes essential to protect the character of Listed Buildings or the Conservation Area.

However uPVC units can successfully imitate traditional window designs through careful choice and thoughtful fitting. Property owners are encouraged to:

- ensure window frames are proportioned to match any original windows in the property and/or surrounding area, even if the opening function differs from the original
- inset windows into the opening so the frontage does not look 'flat' and to improve the longevity of the window.

### 4.3 Roofs & Walls

#### Introduction

There is a wide range of architectural features on roofs and walls on homes throughout Datchet, which makes both a significant functional and decorative contribution to its street and spaces. This section highlights those features in order to encourage their retention and, where appropriate, reproduction.



Example of a decorative finial on a gable end

#### Tile Hanging

Tile hanging is found throughout Datchet, and across south-east England generally, on properties dating from the end of the 17th century to the present day. Their primary purpose is weather protection (they are sometimes referred to as weather tiles), and are predominantly used at first floor level and on gables.

Tile hanging in Datchet utilises plain terracotta tiles. The majority of properties use rectangular and/or half-circle shape tiles. There are good examples of pattern work in hanging tile to add interest.

Applicants are encouraged to continue this tradition, which offers both visual interest and practical protection of the building.



Example of a combination of fish-scale hanging tile in terracotta at first floor level

#### Brickwork Detailing

Many Datchet properties, across numerous design periods, include brickwork detailing. This includes:

- decorative banding or string courses
- pattern work
- traditional bonds e.g. Flemish Bond, Garden Wall Bond etc.

Brickwork offers the opportunity to create texture, depth and interest on a facade and is to be encouraged. Where a property already includes brickwork detail, applications for extensions are expected to integrate this into any proposals and must be able to justify any absence.



Example of decorative brickwork



### Gable & Roof Decoration

Gable rooflines are a prevalent, attractive and distinctive feature of both commercial (See Chapter 5) and residential properties throughout Datchet. Applicants are strongly encouraged to include these types of features to add visual interest. Roofs and gables should include the following features where appropriate:

- decorative barge boards
- finials
- king posts and crossbars
- decorative ridge tiles

### Additional Fixtures & Fittings

Homeowners are strongly encouraged to consider the visual impact of items such as satellite dishes, solar and photovoltaic panels, and to place them discreetly on the rear of properties where possible.



Example of decorative ridge tiles and barge boards, combined finial and kingpost, and unique chimney design

### Chimneys

There are numerous good examples of functional and visually interesting chimneys in Datchet. Wherever possible these should be retained, and the creation of new examples is encouraged. However the most important factor in the design of chimneys is that they are located where they would be required. The inclusion of false chimneys in locations where it would be impossible internally to provide a chimney stack will not be permitted.

Additional external chimneys such as those often fitted for the provision of woodburning stoves, should be designed to minimise their visual impact. In some locations the use of a non-metallic colour flue (for example black) may be more appropriate.



Example of a feature chimney design



Example of decorative brickwork banding



Example of decorative brickwork on Datchet Library



Example of proportionate, appropriately located and simply decorated chimney

### 4.4 Boundary Treatments

#### Introduction

Applicants are strongly encouraged to retain the boundary treatments to the fronts of their properties, particularly for residential properties, as set out in Principle 9.1 of the Borough Wide Design Guide. There are many high-quality and creative examples of enclosure in Datchet which contribute to the overall character of the village. Applicants should demonstrate how their proposals contribute to that legacy.

Applicants should refer to contextual examples provided within the Character Area, and consider whether their property is located on a street with an urban or more 'leafy' character when considering whether a hard boundary treatment (walls or railings), or a softer approach (fences and hedges) are the most suitable form of enclosure. Railings may offer a good middle ground for urban locations and should be combined with planting to enhance front gardens.

Boundary treatments should always be appropriate in height, materials and design detail to the property and its surrounding area. The following sections provide locally specific advice regarding different types of boundary treatment.

#### Walls

There are many good examples of effective, proportionate and interesting wall designs within Datchet. Whilst walls may be more expensive to build, applicants are strongly encouraged to consider the benefits of longevity, security and beauty that a wall could provide.

Walls may be particularly appropriate in areas where front gardens are large or laid out in such a way as to encourage recreational use, the privacy benefits of a wall may be useful. It also gives a more 'urban' character.

Datchet also includes successful examples of low walls topped with railings or fencing. This may be a useful configuration in locations where large amounts of walling may be visually overbearing.

Owing to its ground water and fluvial flooding issues, Datchet includes examples of decorative openings on walls, which allow water to disperse more quickly. Inclusion of this type of feature is positively encouraged.



Example of a high quality, decorative fence



Example of both decorative railings, and the provision of a low wall topped with a simple railing



Example of openings in a boundary wall to allow water to pass through it in the event of flooding, and decorative brick banding

## Railings & Fences

The use of railings and fences to enclose front gardens provides more visual permeability, and can be particularly attractive in locations where planting will be visible in the space beyond, giving a 'softer' appearance.

Applicants are particularly encouraged to consider the use of railings in locations where walls may take up too much space or a softer appearance may be appropriate. Railings require significantly less maintenance, and are longer lasting than equivalent fencing.

Where fences are used on the front of properties, they must be of a high-quality, and should not be of a 'close panel' type.

Both railings and fences (and their associated gates - see accompanying section) offer opportunities to provide visual interest through high quality detailing, and applicants are encouraged to include these features.

## Gates & Gateposts

In addition to the general loss of frontage enclosure which has had a negative impact on the streetscapes of Datchet, the increase in car parking on frontages has also led to the loss of gates. However many frontages include new oversized gatepost features, despite there being no intention to hang a gate. This approach leads to a street which looks unfinished. The following is therefore recommended:

- where an enclosure includes gateposts, a gate should ideally be installed. This also offers an opportunity for positive personalisation of the property. Solid gates should generally be avoided.
- when building new enclosures, if gates are not being included, then neither should gateposts. Replicating piers within the wall may be appropriate.
- where residential properties front onto roads with a speed limit of 30mph or greater, new boundary treatments should provide complete enclosure, utilising gates, so that frontages can be secured. This is particularly important for family sized properties (i.e 2 bedrooms and larger).
- Gateposts should be an appropriate height, material and design, in keeping with the frontage.



Decorative wall, with proportionate gateposts and traditional gate design



Coordination between railings and gate, and gateposts and wall pillars.



Combination of a simple low wall and fencing with a coordinated gate and gateposts allow views of the garden beyond.

### Incorporating Utilities & Storage

Many residents now find they need to securely store a large range of items on their property which need to be easily accessible. These include (but are not limited to):

- bikes / pushchairs / scooters
- rubbish and recycling bins

Whilst the requirements and design recommendations for the provision of such storage is covered by the Borough-wide Design Guide, it is important to note that the provision of well designed, and where appropriate, integrated storage will be strongly supported in Datchet. New development which does not include such storage will be expected to provide evidence as to why this is not possible.

Applicants' attention is drawn to the opportunities to create such storage, when designing and building boundary treatments. There are numerous examples of successful integrated design throughout Datchet, and such efforts are strongly supported.



Example of coordinated bin store and fencing, with additional colour coordination with windows and doors.



Example of integrated bin storage and fencing, including planting to further soften the design



Example of integrated bin and bike storage as part of a boundary treatment

### Hedges & Lower Level Planting for Enclosure

There are many areas in Datchet where hedges are used successfully as a form of enclosure on public frontages. These are predominantly in edge-of-settlement/rural locations, or in combination with other forms of enclosure (such as railings and low walls with railings) in more central locations.

Applicants are encouraged to include hedging within the design of frontages, but could also consider whether the maintenance requirements are appropriate for the type of property and those likely to live within it, and to utilise smaller leaved varieties which retain a compact look throughout the year. Applicants can find suggestions for recommendations of evergreen plant types suitable for hedging and boundary planting in the Planting Palette.

In situations where frontage garden space will be lost (typically in the provision of frontage parking), applicants are also strongly encouraged to include planting strips. These offer many benefits highlighted above of including planting, as well as visually strengthening boundaries.



Examples of small leafed hedging varieties (left) and larger leafed varieties (right)



Boundary planting strip adding biodiversity, drainage and a softer look to a hard landscaping area for parking



Example of the successful use of well maintained hedging on a larger frontage outside the village centre

### Specimen Trees

One of the most noticeable features of many streets in Datchet is specimen trees. These trees are predominantly within the frontages of private properties but make a significant visual contribution to the public realm. In addition they also help mitigate flood risk and improve air quality and biodiversity. Applicants should seek to include trees within their frontages whenever practical, and are encouraged to consider the many design options which allow trees to be located in hard landscaped spaces such as parking areas:

- tree pits
- permeable root coverings

Examples of smaller trees suitable for inclusion in residential front gardens can be found in the Planting Palette.



Example of a specimen tree which enhances the street but which is not within the adopted highway



Decorative permeable tree grill



Tree pits



Example of mature trees on private land making a positive contribution to the wider street



### 4.5 Residential Car Parking

As levels of car ownership have increased, so have the number of property frontages which have replaced front gardens with areas of hard standing to facilitate car parking. This has the cumulative impact of:

- reducing the definition of the street (through the removal of walls, fences, hedges and gates),
- creating areas which look 'hard' (through the removal of planting and trees), and
- increasing the potential for flooding (through lack of permeability and increased water run-off).

Homeowners and those developing new properties are encouraged to consider the following when retrofitting or designing new residential parking areas:

- include as much frontage boundary treatment as practicable, completely open frontages should be avoided wherever possible
- where an open frontage is the only option, clear division between properties should be provided
- use of permeable surfaces such as gravel, pavers, resin bonded gravel and grasscrete
- planting should be retained/included wherever possible



Example of a secure car port with decorative gates



Example of separate pedestrian and vehicular gated access, with wall retained, providing parking and boundary definition



Example of gravel as a permeable surface treatment where complete coverage is required, which can also be planted through



Example of a side extension which includes an undercroft for parking and access to the rear of the property



Example of retaining dividing railings between driveways when removal of frontage boundaries is necessary to provide parking



Example of limited paving to provide access and parking, combined with planting to create visual interest, biodiversity and permeability

## 4.6 Planting Palette

Vegetation is a major component of the leafy character of Datchet and should be added to wherever possible. The following section provides advice on the planting which may be appropriate in Datchet. This section is advisory, and provided to inspire and assist applicants to create private spaces which make a positive contribution to the visual interest and biodiversity of Datchet.

### Larger Trees

Whilst larger trees have the greatest visual impact on street character, they may not suit smaller private spaces. However when a development does include sufficient space for larger tree species, this will always be encouraged. The following list includes tree species which may be appropriate and areas where they may be best suited.

- Horse Chestnut (Riverside & Southlea areas)
- Oak (The Green & North of the M4)
- Limes (Ditton Park, Victorian Suburbs)
- Salix (Willow) (North of the M4)
- Sycamore (Southern Areas)
- Hawthorn, Copper Beech, Ash, Birch (found across all areas of the parish)

### Medium / Small Trees

Examples of tree varieties which are found in Datchet and may be suitable for front gardens due to their smaller scale.



Acer



Amelanchier (multi stem)



Betula jacquemontii (Himalayan Birch)



Cercidiphyllum japonica



Liquidambar (Sweetgum)  
(smaller varieties such as orientalis)



Magnolia



Cherry (Prunus)



Pyrus (Ornamental Pear)



Quercus fastigiata (Oak)



Robinia pseudoacacia 'Frisia'



Sorbus aria (Whitebeam)

## 4. DESIGN DETAILING

### Hedging

Examples of hedge varieties which are found in Datchet and may be suitable for front gardens.



Yew



Hornbeam



Beech



Escallonia

### Climbers

Examples of flowering climbing plants which are found in Datchet and may be suitable in public facing areas.



Camellia



Chaenomeles



Hydrangea



Example of hedging used in combination with a bespoke gate



Wisteria



Jasmine



Roses



Example of roses on a porch

## 5. SHOPFRONTS

5.1 INTRODUCTION

5.2 SHOPFRONT LAYOUT

5.3 DETAILING

5.4 EXTERNAL PUBLIC SPACES

5.5 SUCCESSFUL SHOPFRONTS



## 5. SHOPFRONTS

### 5.1 Introduction

Datchet has retained many attractive retail units including some which are listed heritage assets but also has, like many local centres, struggled to retain the overall quality of its shopfronts.

The loss of traditional frontage proportioning, the excessive use of window film and additions of oversized, flat, backlit plastic fascias have all contributed to the erosion of quality on commercial premises, and particularly on retail frontages.

Quality commercial frontages can create a visually-appealing and flexible showcase for the business the property supports, adding activity and vibrancy to the area as well as offering natural surveillance of the public realm.



Example of a contemporary approach to signwriting on a traditionally proportioned shopfront

### Principle 4: Shopfronts

Applications for replacement shopfronts and/or new retail units must demonstrate that they meet the standards set out in Section 5.2 and Diagram 13: Shopfront Layouts.

Additionally the detailed features of the shopfront must demonstrate positive design (See Section 5.2) in relation to:

- projecting features
- lighting
- colour / finish
- signage
- shutters
- adhesive window films

The layout of the retail frontage must ensure a functional and attractive use of external public spaces where applicable (See Section 5.4)

### 5.2 Shopfront Layout

New or replacement shopfronts must demonstrate that they deliver the proportions and details set out in Diagram 13 in a manner in keeping with the architectural style and age of the property in which it is located.

Contemporary styles of shopfront, which utilise traditional proportions and details, albeit in a simpler style, will be supported. Examples of how this approach can deliver a range of different frontages is set out in Diagram 14.

It should be noted that there are a number of existing shopfronts which either form part of a listed building, are within the setting of one or are within the Conservation Area. In these circumstances, applicants are encouraged to seek early advice from officers, particularly as very contemporary design is unlikely to be considered appropriate.

However applicants may find that they are still able to achieve a contemporary aesthetic through good use of colour, typography and lighting, in combination with a traditional layout and detailing.

## Shop Frontage Diagram

Demonstrating traditional proportions and key design features which should be included within a shop front design.

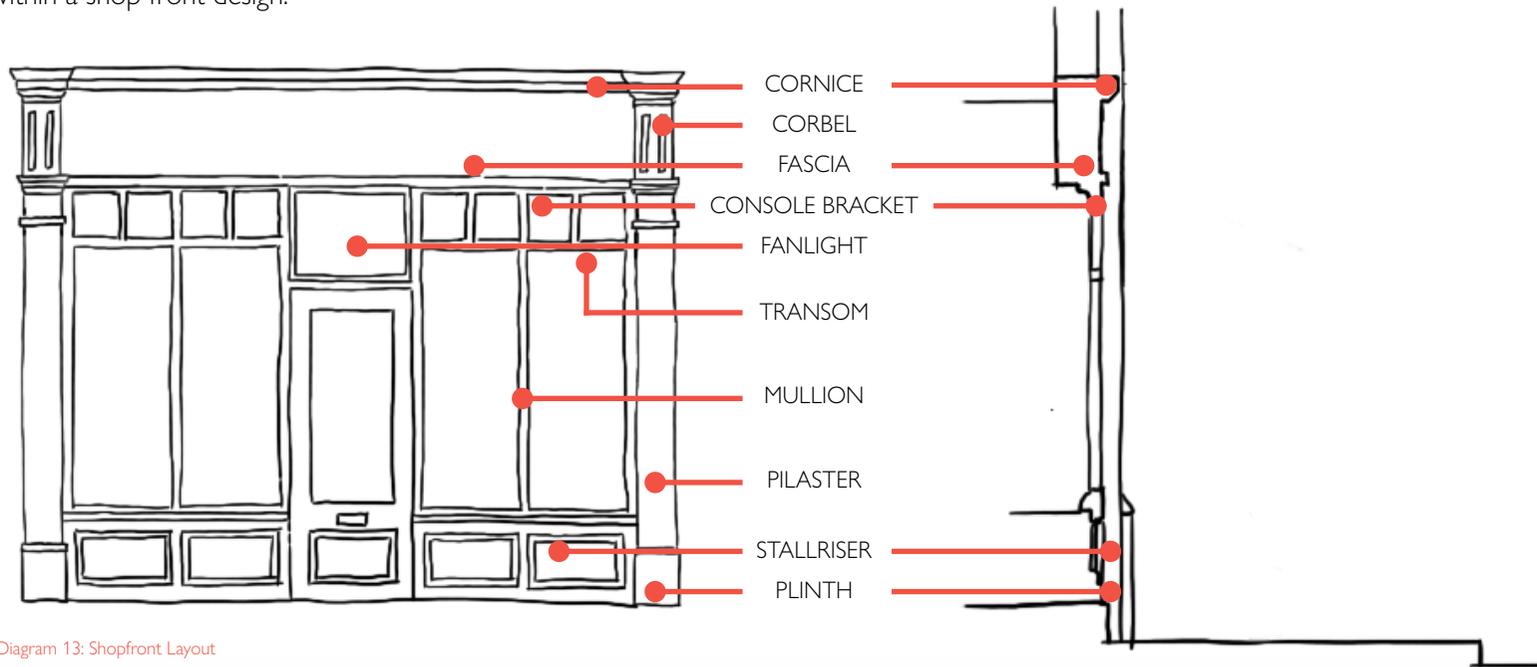


Diagram 13: Shopfront Layout

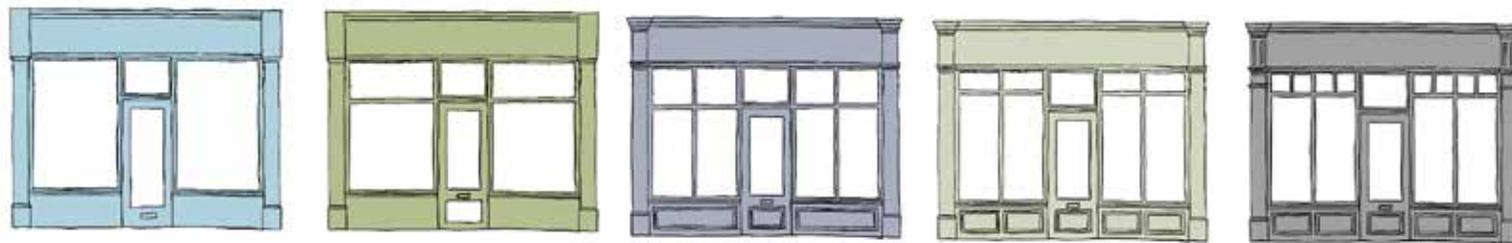


Diagram 14: Examples of how the same proportions and features can produce a range of shopfront styles, whilst retaining overall cohesion

## 5.3 Detailing

### Projecting Features

Contemporary shopfronts frequently fail to include the detailed features which make traditionally designed shopfronts, like many found in Datchet, attractive. These detailed features are often those which extrude from the main building frontage, including:

- hanging signs (Diagram 15)
- awnings (Diagram 16)
- building mounted lighting (Diagram 17)

These features add visibility, practicality and visual interest to a shopfront and applications which include these types of features within a well-proportioned and detailed facade are strongly encouraged. It is particularly important that extruded fixtures are of a high quality, being particularly prominent in the streetscene.

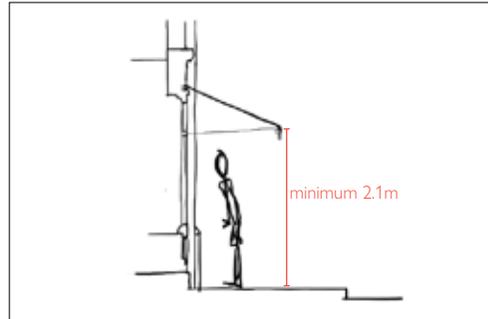


Diagram 16: Awnings, integrated into fascia, maintaining an overhead clearance of 2.1m

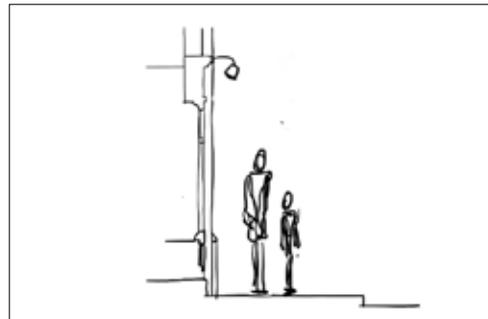


Diagram 17: Fascia downlighters

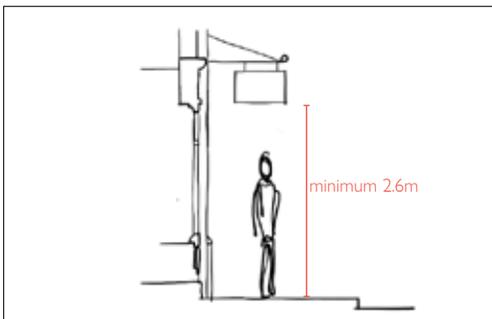


Diagram 15: Hanging signs, maintaining an overhead clearance of 2.6m

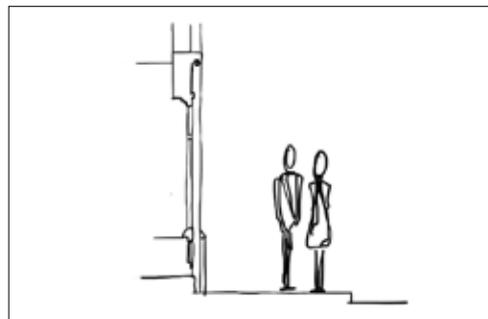


Diagram 18: Fascia lighting integrated into the cornice above the fascia

### Awnings

Awnings (sometimes referred to as 'blinds') should be retractable and stored within an integrated 'blind box' within the base of the fascia. Their primary colour should match or coordinate with the base colour of the shopfront. A minimum of 2.1m of vertical clearance must be provided when awnings are extended. Fixed 'Dutch' type awnings will not be permitted.



Use of muted contemporary colour, extruded fascia lettering, and provision of an integrated sun awning

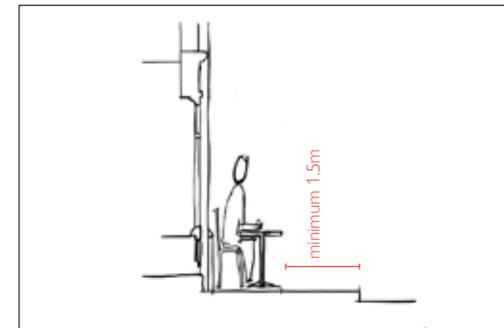


Diagram 19: External seating, maintaining a pavement clearance of 1.5m

## Lighting

Where a shopowner wishes to include an illuminated element this must be integrated into a comprehensive design which meets the requirements of Section 5.2 / Diagrams 13 & 14. Particular care must be taken within the Conservation Area and on listed buildings.

Applicants can include:

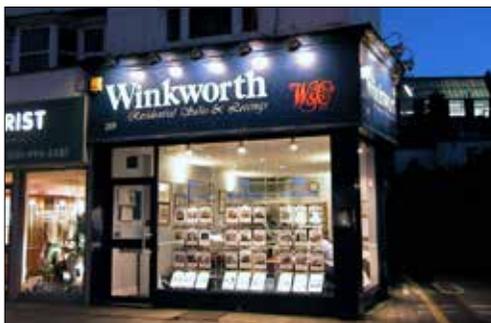
- fascia downlighters either set within the cornice or bracketed individual downlights (Diagrams 17 & 18)
- backlit/halo lit (extruded) lettering on the fascia
- lighting within an internal window display provided it is angled into the window
- wall mounted downlights with a limited lighting angle, where a business operates during evening hours (e.g. restaurants, public houses) if street lighting can be demonstrated to be insufficient.

Applicants must not include:

- backlit box fascias or hanging signs
- wide angle outdoor lighting
- lit signage on a shop frontage or within a window display which flashes or appears to move



Traditional hanging signage incorporating contemporary signwriting and modern downlighters.



Use of individual downlighters over the fascia, and internal lighting of the window display.



Integrated sun awnings allowing continued visibility of the fascia, contemporary signwriting on window and simple use of colour.

## Shutters

The inclusion of security shutters within shopfronts is considered necessary by many business owners. Shutters have a negative impact on streets, reducing lighting, creating blank facades, and reducing surveillance. Businesses which require shutters should utilise one of the following design options:

- internal roller grilles which allow views into the shop. These should be used in conservation areas and on listed buildings
- external roller shutters flush mounted as part of the console bracket, not extruded from it, not suitable for listed buildings and in the conservation area
- Security grilles on recessed openings, such as inset doorways



Example of internal security grilles which provide security whilst providing visual interest and lighting to the street.

## 5. SHOPFRONTS

### Colour

The use of colour can have a significant impact on the success of a shopfront.

Applicants are encouraged to:

- Utilise muted tones as base colours, particularly where large areas of colour need to be applied
- Limit brighter colours to smaller accent areas such as lettering, logo and hanging signage
- Consider the balance and contrast of colour across the whole building and any adjacent buildings, and seek to compliment the overall aesthetic



Example of high quality traditional signwriting (fascia and glazing) on the Datchet Village Pharmacy

### Signwriting

Datchet has good examples of traditional signwriting and applicants are strongly encouraged to use this technique wherever possible, and particularly on traditional shopfronts on period buildings. Extruded individual lettering also offers a good alternative to signwriting by creating depth and interest on a flat fascia.

Applicants are strongly discouraged from using printed plastic sheets (particularly gloss surfaces) which completely cover the fascia, wherever possible, and box fascias must not be used (also see Lighting section)

Signage must be limited to the shopfront, and not included on walls above or to the side of the shopfront.



Contemporary signwriting and use of colour on a traditional shopfront, including additional window lettering and a hanging sign.



Contemporary shop front design with traditional proportions and detailing, extruded lettering and use of accent colour.



Contemporary shop front design with traditional proportions and detailing, simple signwriting including window lettering.



Simple white base colour and contemporary signwriting design, with individual downlighter

### Adhesive Window Films

The practice of placing plastic adhesive film over the interior surface of windows in order to provide additional internal space for the display of goods is a significant problem. The use of window films:

- reduces natural surveillance of the street and creates blind spots
- reduces activity and vibrancy
- makes units look closed or unwelcoming to visitors

Therefore shopfronts must not apply window films which cover more than 50% of the glazed area of their frontage.

This requirement includes the use of vinyl which allows one-way visibility through the adhesive film.



Positive use of window films to create privacy whilst adding visual interest to the shop window

## 5.4 External Public Spaces

There is great opportunity for commercial frontages to animate their adjacent public realm with activity and visual interest. However there is also the potential for commercial activities to create clutter, cause obstruction, and encourage anti-social behaviour.

Therefore shopfront design should ensure that:

- A-boards should only be used as general business signage where it is not possible to accommodate appropriate hanging signage.
- promotional A-boards and outdoor seating may only be used when an unobstructed pavement width of 1.5m can be maintained. (Diagram 19),
- any boundary treatments around areas fronting commercial property (such as for seating areas), will only be permitted on private property, and must be in keeping with the enclosures advice contained in Chapter 4.
- any business serving take-away food, including 'mini-market' type businesses, must provide, or fund the provision of, a public litter bin adjacent to their commercial frontage, by agreement with the local authority.



Maintaining pavement access whilst providing external seating, plus contemporary use of colour and provision of an integrated awning



Maintaining pavement access whilst providing flexible external seating and using a promotional A-Board

### 5.5 Successful shopfronts in Datchet



Holistic frontage design, including traditional proportions and detailing, with signwriting and window design



Simple and clean signage on a heritage building where a standard piece of signage would be inappropriate



Well proportioned and detailed facade including feature clock



Simple and elegant sign writing and window lettering, appropriate fascia lighting, decorative internal security grills



Contemporary colour, typography, internal window blinds and window film within a traditional shopfront



Outdoor seating which maintains an appropriate pavement width



Appropriate use of window film and retention of attractive original door



Reuse of a former bank - contemporary signwriting, window lettering for additional detail, and internal security shutters



Reuse of a former pub - reuse of original hanging signage, simple and limited use of corporate branding on the building itself

